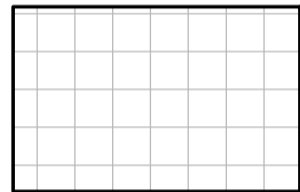


Balconies /
External Amenity
Space



Balcony/external
terrace space



Front garden replacing
stairwell

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Ground Floor Plan

DRAWING STATUS
PLANNING APPROVAL

DRAWN	MB	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 10/04/14

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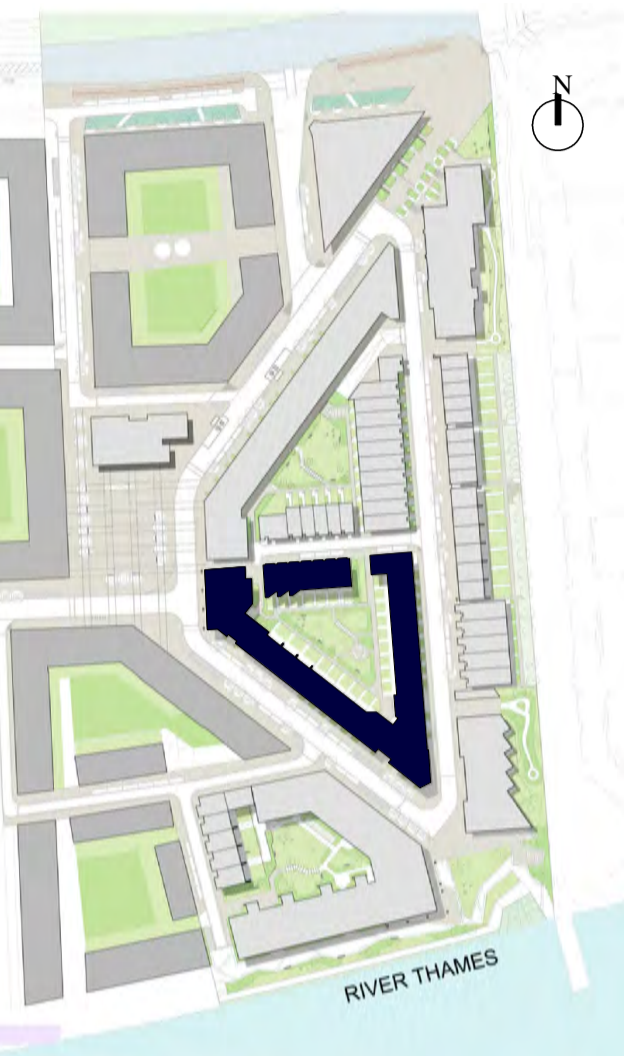
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- Balconies / External Amenity Space
- Balcony/external terrace space

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 First Floor Plan

DRAWING STATUS
PLANNING APPROVAL

DRAWN	MB	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

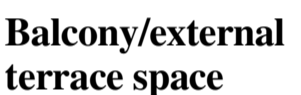
DATE 10/04/14

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JOB NO. 13-500	DRAWING NO. DPA-08-101	REV P2
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P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Second Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN M

0017 1 050 @ A1 / 1 500 @ A2

DATE 10/04/14

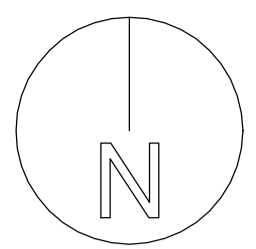
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JOB NO. 13-500	DRAWING NO. DPA-08-102	REV P2
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Balconies /
External Amenity
Space

Balcony/external
terrace space

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Third Floor Plan

DRAWING STATUS
PLANNING APPROVAL

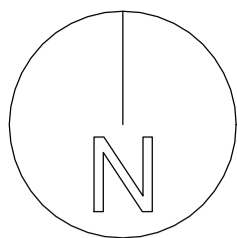
DRAWN	MB	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 10/04/14

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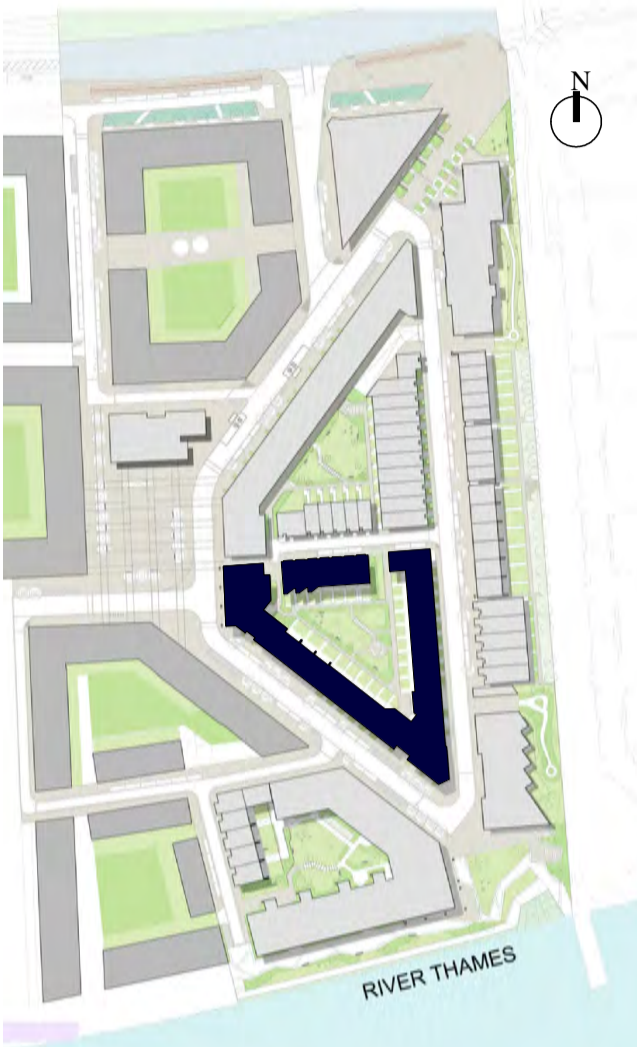
It is the contractors responsibility to check and verify all dimensions on site.


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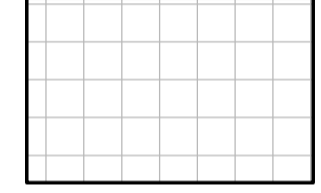
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 **Balconies / External Amenity Space**

 **Balcony/external terrace space**

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Fourth Floor Plan

DRAWING STATUS
PLANNING APPROVAL

DRAWN	MB	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

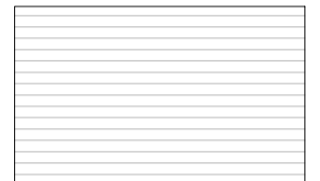
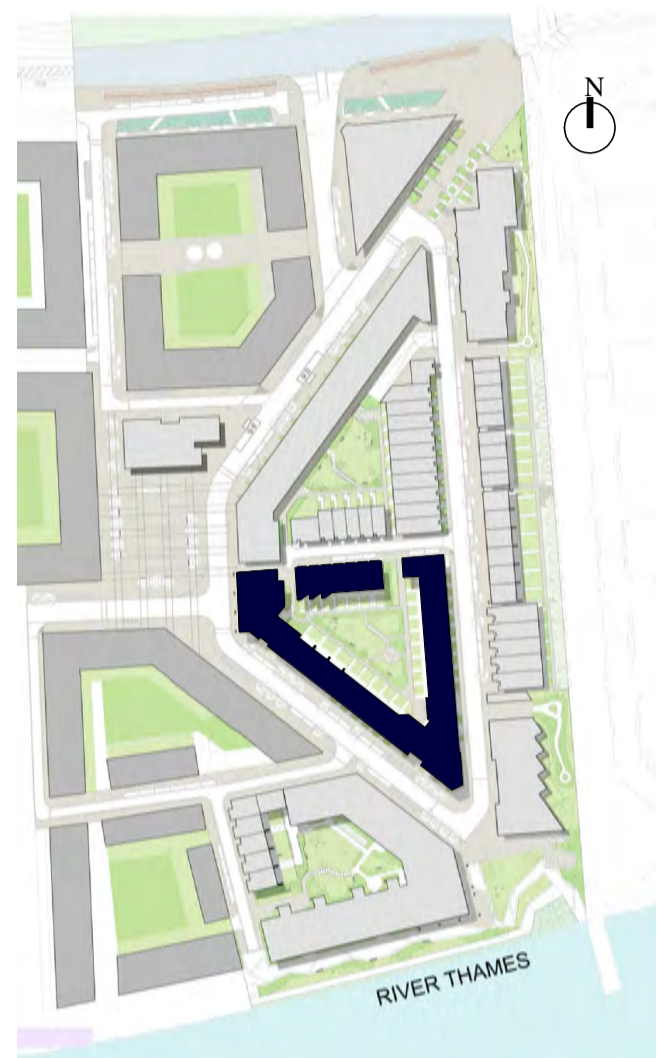
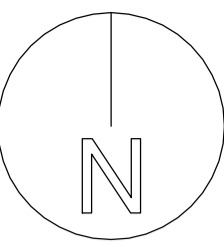
DATE 10/04/14

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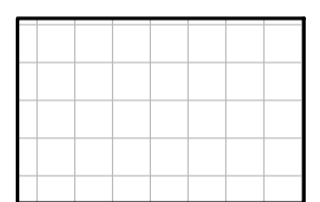
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JOB NO. 13-500	DRAWING NO. DPA-08-104	REV P2
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Balconies /
External Amenity
Space



Balcony/external
terrace space

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Fifth Floor Plan

DRAWING STATUS
PLANNING APPROVAL

DRAWN	MB	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

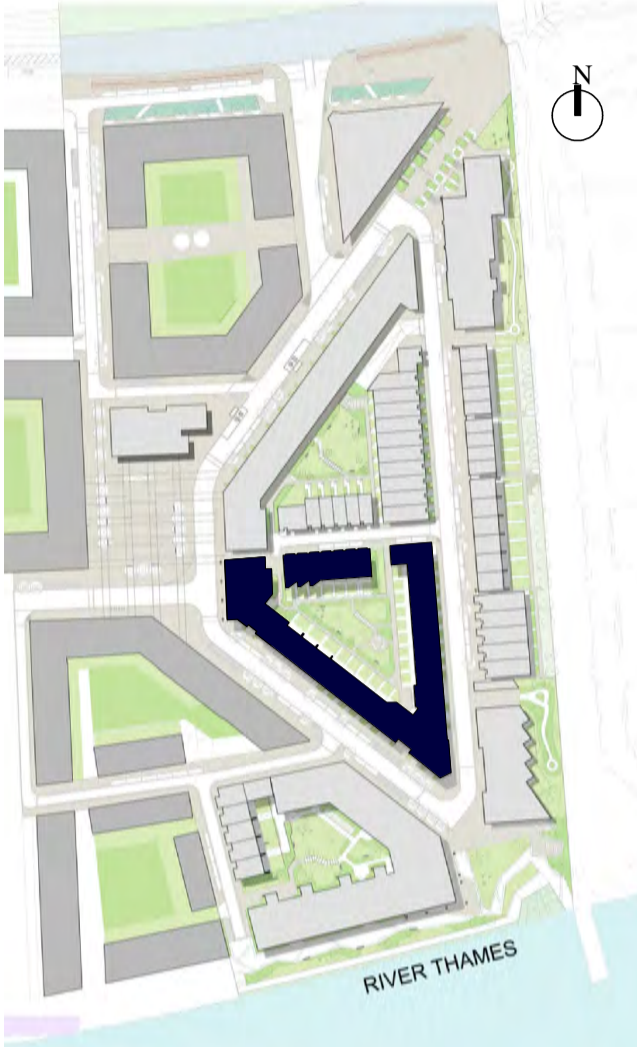
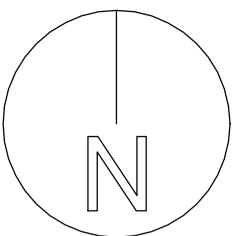
DATE 10/04/14


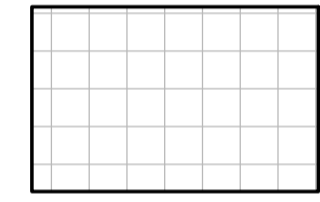
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JOB NO. 13-500	DRAWING NO. DPA-08-105	REV P2
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- **Balconies /
External Amenity
Space**
- **Balcony/external
terrace space**

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT Royal Wharf, Development Phase 1		
TITLE Plot 08 Sixth Floor Plan		
DRAWING STATUS PLANNING APPROVAL		
DRAWN	MB	CHECKED MB
SCALE 1-250 @ A1 / 1-500 @ A3		
DATE 10/04/14		
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JOB NO. 13-500	DRAWING NO. DPA-08-106	REV P2



P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Seventh Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN	MB	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 10/04/14

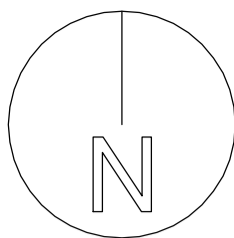
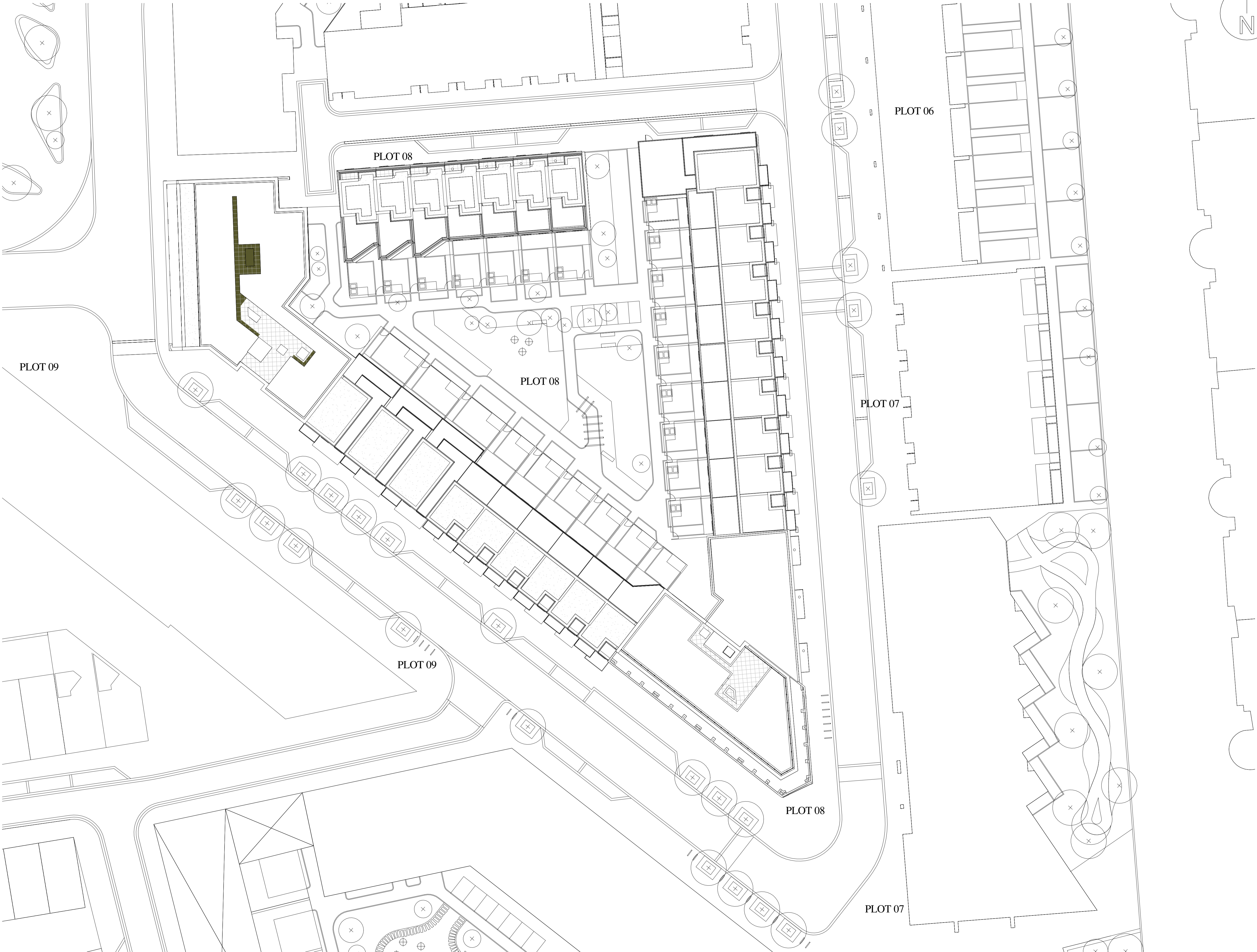
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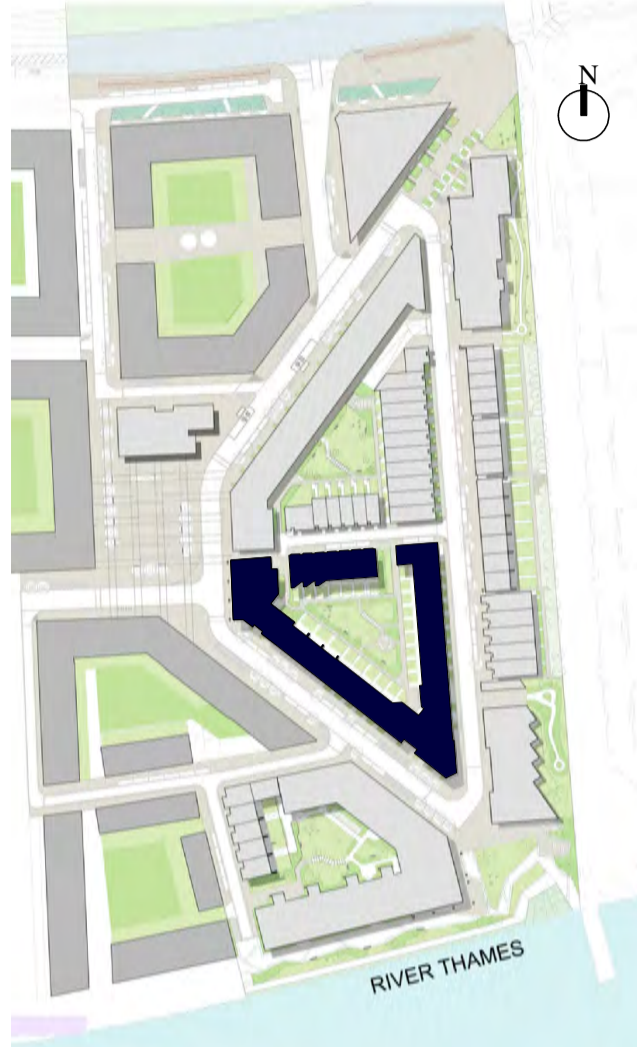
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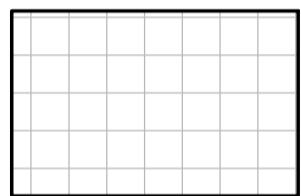
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Balconies /
External Amenity
Space



Balcony/external
terrace space

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Roof Plan

DRAWING STATUS
PLANNING APPROVAL

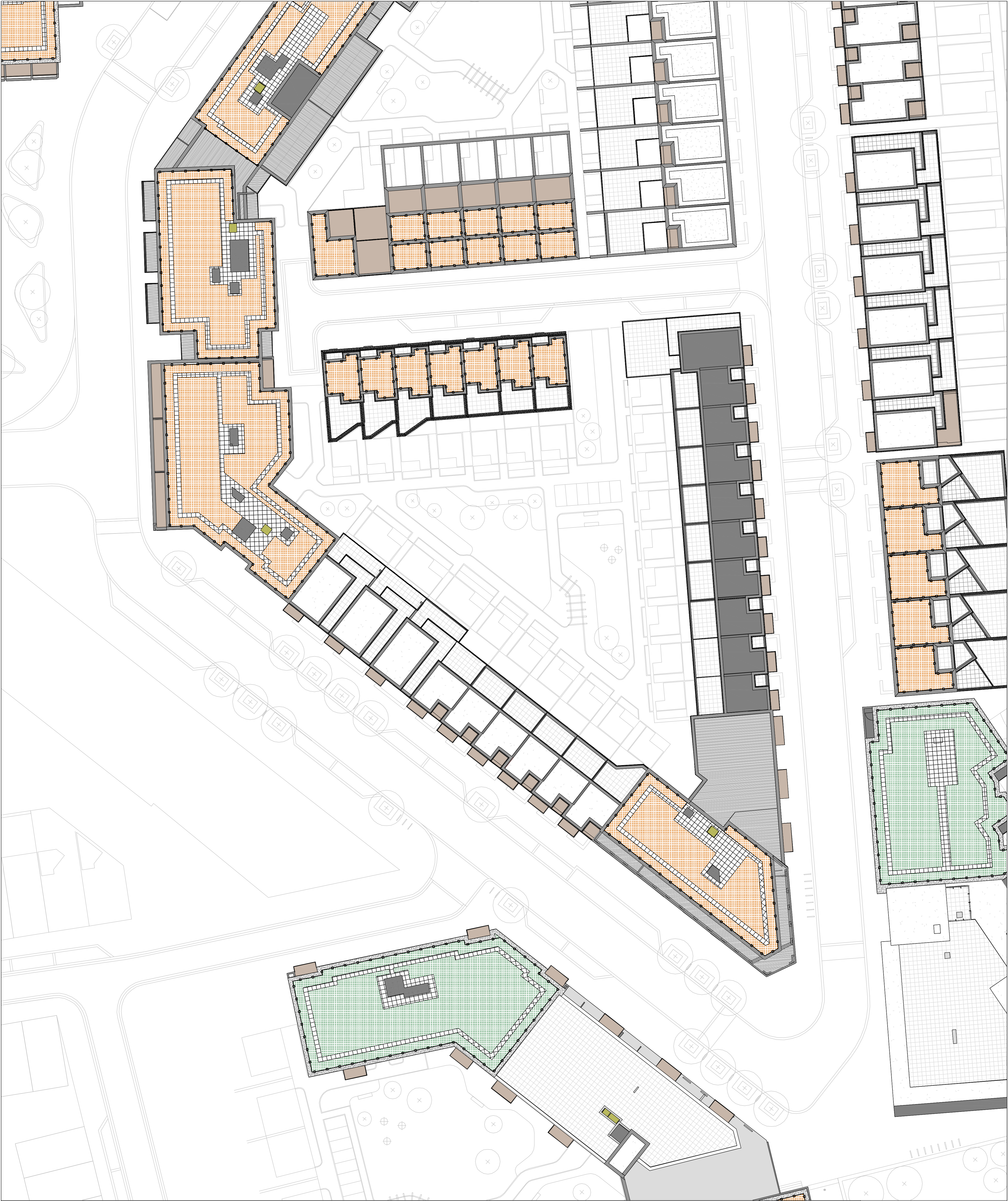
DRAWN	MB	CHECKED	MB
SCALE	1-250 @ A1 / 1-500 @ A3		
DATE	10/04/14		

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JOB NO. 13-500	DRAWING NO. DPA-08-108	REV P2
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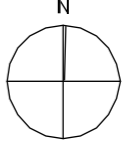
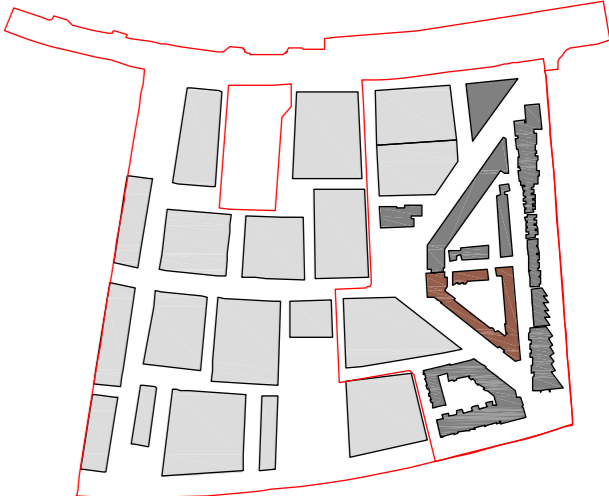



- KEY**
- BROWN ROOF - TO SPECIFICATION
3846m²
 - GREEN ROOF - TO SPECIFICATION
1302m²
 - PAVING TYPE 1 600mm x 600mm x 50mm
ANDOVER CONCRETE PAVING
 - GRAVEL STRIP 600mm WIDTH - TO
ARCHITECTS DETAIL
 - PRIVATE ROOF TERRACE - TO
ARCHITECTS DETAIL
 - PRIVATE ROOF TERRACE - TO
ARCHITECTS DETAIL
 - DEMOUNTABLE KEY CLAMP
BALUSTRADE SYSTEM

NOTE
1. DEMOUNTABLE KEY CLAMP BALUSTRADE
REQUIRES A PC PAVING SLAB EVERY 1.2M
TO HOLD IT IN PLACE.

- GENERAL NOTES**
- Do not scale drawing.
 - All setting out, levels and dimensions to be agreed on site.
 - The dimensions of all materials must be checked on site before being laid out.
 - This drawing must be read with the relevant specification clauses and detail drawings.
 - Order of construction and setting out to be agreed on site.

PLOT LOCATION KEY



Project ROYAL WHARF DEVELOPMENT PHASE 1	Drawing Title PLOT 8 LANDSCAPE ROOF PLAN	Revision	Date			Client: Ballymore Group Address: Pointe North 3 Greenwich View Place London E14 9NN	Consultant TOWNSHEND Landscape Architects Unit 3A Zetland House London E20 4JG Telephone: 020 7729 9333 Fax: 020 7729 3300 E:tail.dpa@townshend.co.uk		Project No.	Scale	Approved By	Drawing No.	Revision
	P01 - Minor Amendments	15/09/11											
	P02 - PV added	16/09/11											
	P03 - Surface Finished Amendments	24/02/14											
	P04 - Minor Amendments	07/04/14											
	P05 - Roof Layouts Amended	06/05/14											
		Observations to be worked on site. Figured dimensions to take preference to those scaled. Any areas indicated on this drawing are for guidance only. No responsibility is taken for their accuracy.					Date	Drawing Size	Drawn By				
							MAY '14	A1	NK		DPA-08-902		

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Material Key

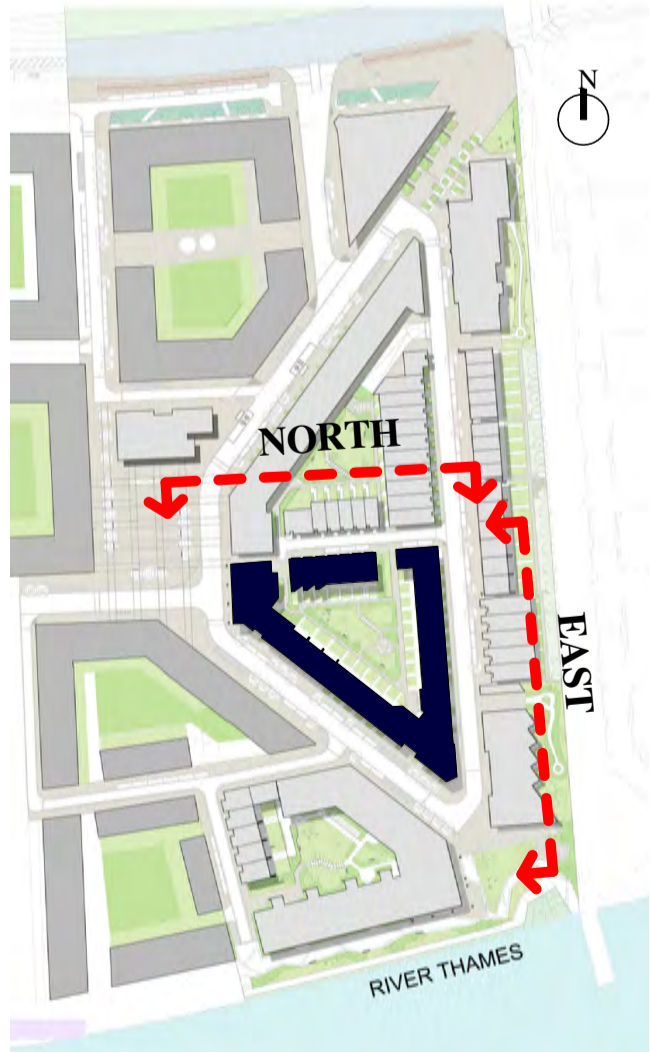
1	Facing Brickwork (Type TBC)
2	Concrete Cladding
3a	Aluminium Window System (colour/Finish TBC)
3b	Aluminium Window System with Louvre (colour/Finish TBC)
4	Aluminium Curtain Wall System (Colour/Finish TBC)
5	Timber Weatherboarding
6	Aluminium Rainscreen Panel
7	Zinc Standing Seam Cladding
8	Aluminium Brese Solei
9	Glazed Balustrade
10	Metal Balustrade
11	Aluminium Panel
12	Aluminium Louvre
13	Privacy Screen (Material TBC)



NORTH ELEVATION



EAST ELEVATION



Block Location Plan

P2	10.04.14	Basement removed, cycle and bin stores redesigned to LHDG, apartment layouts amended, service risers and lifts rationalised, redesigned to secure by design recommendations, additional residential storage added to LHDG, external amenity spaces amended to LHDG	
Rev	Date	Description	By



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 North and East Elevations

DRAWING STATUS
PLANNING APPROVAL

DRAWN	NMF	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 25/04/14

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Material Key

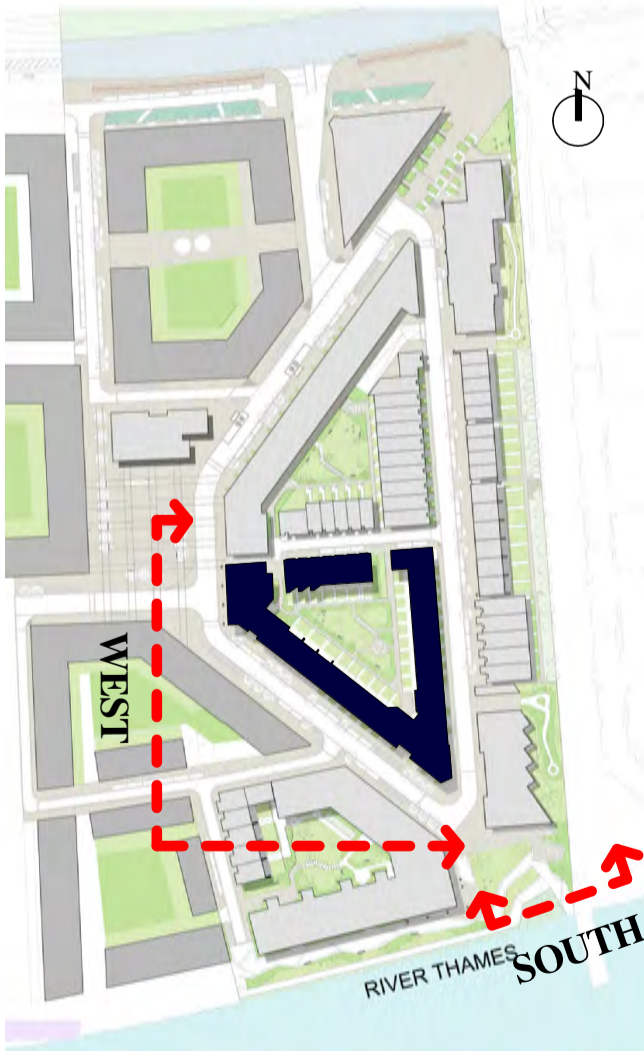
- 1Facing Brickwork
(Type TBC)
- 2Concrete Cladding
- 3aAluminium Window System
(colour/Finish TBC)
- 3bAluminium Window System with
Louvre (colour/Finish TBC)
- 4Aluminium Curtain Wall System
(Colour/Finish TBC)
- 5Timber Weatherboarding
- 6Aluminium Rainscreen Panel
- 7Zinc Standing Seam Cladding
- 8Aluminium Brese Solei
- 9Glazed Balustrade
- 10Metal Balustrade
- 11Aluminium Panel
- 12Aluminium Louvre
- 13Privacy Screen
(Material TBC)



WEST ELEVATION



SOUTH ELEVATION



Block Location Plan

Rev	Date	Description	By
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PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 South and West Elevations

DRAWING STATUS
PLANNING APPROVAL

DRAWN	NMF	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 06/05/14

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JOB NO. 13-500	DRAWING NO. DPA-08-202	REV P2
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SOUTH-WEST ELEVATION

Material Key

1	Facing Brickwork (Type TBC)
2	Concrete Cladding
3a	Aluminium Window System (colour/Finish TBC)
3b	Aluminium Window System with Louvre (colour/Finish TBC)
4	Aluminium Curtain Wall System (Colour/Finish TBC)
5	Timber Weatherboarding
6	Aluminium Rainscreen Panel
7	Zinc Standing Seam Cladding
8	Aluminium Brese Solci
9	Glazed Balustrade
10	Metal Balustrade
11	Aluminium Panel
12	Aluminium Louvre
13	Privacy Screen (Material TBC)

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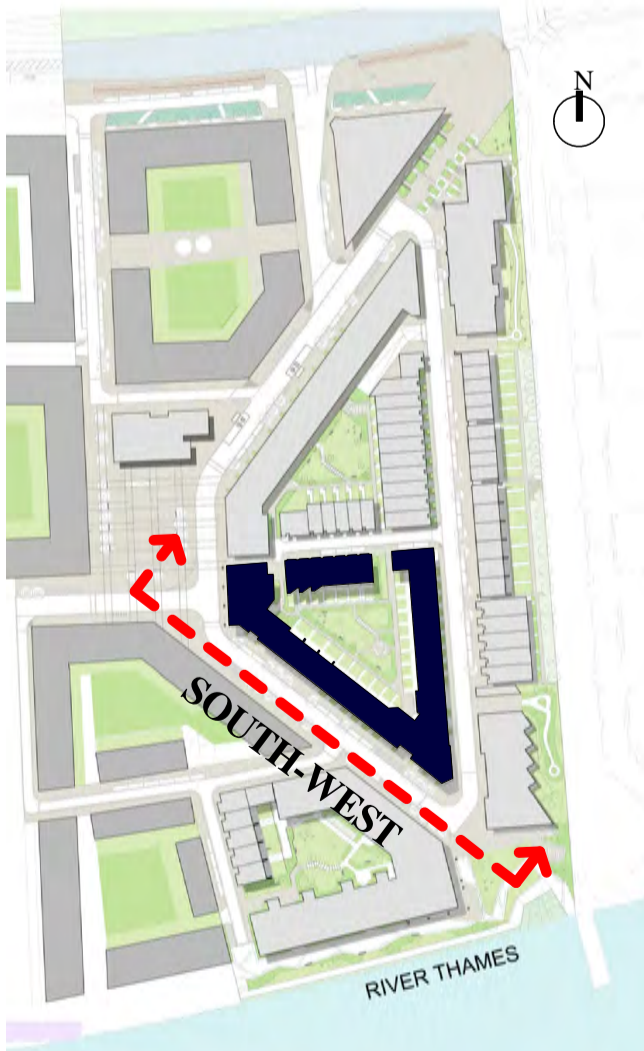
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Block Location Plan

Rev	Date	Description	By
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PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 South-West Elevation

DRAWING STATUS
PLANNING APPROVAL

DRAWN	NMF	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 25/04/14

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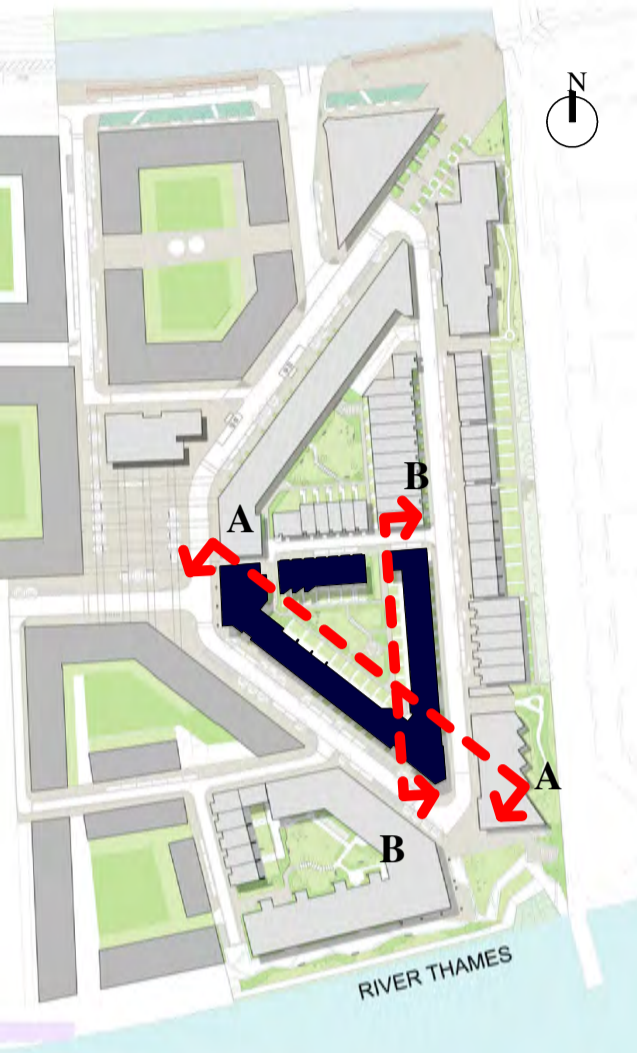


SECTION A-A



SECTION B-B

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Block Location Plan

Rev	Date	Description	By
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PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Section A-A & B-B

DRAWING STATUS
PLANNING APPROVAL

DRAWN	NMF	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 06/05/14

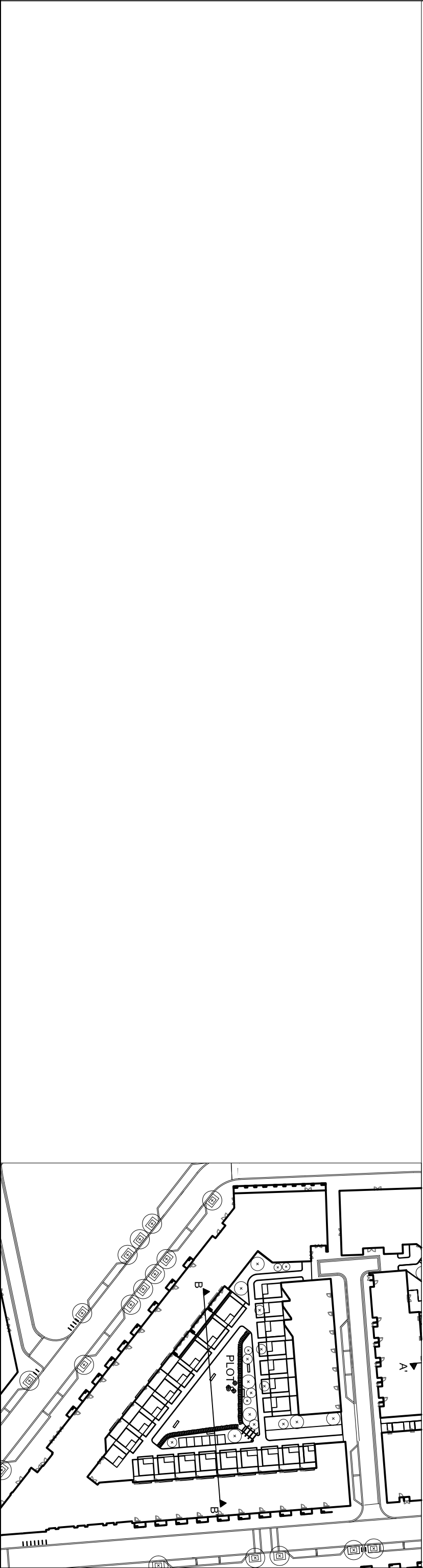
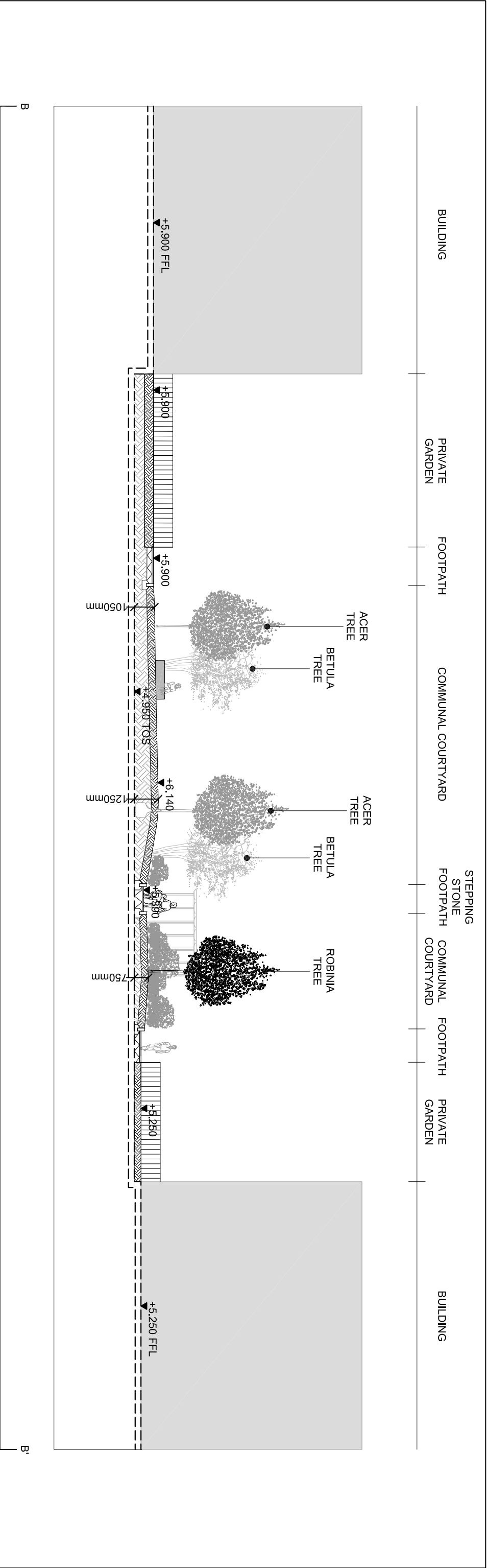
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JOB NO.	DRAWING NO.	REV
13-500	DPA-08-300	P2



Project		Drawing Title		Revision		Date		Consultant		Project No.	Scale	Approved By	Drawing No.		Revision
ROYAL WHARF DEVELOPMENT PHASE 1		SECTION B - B'		P00 - First Issue		05-03-14		TOWNSHEND Landscape Architects		465.1	1:200@A3	DP	P02		
Client		PLOT 8		P01 - Contour Amendments		07-04-14		Unit 3A Zealand House London EC2A 4HU Telephone: 020 7729 9333 Fax: 020 7729 3300 E-Mail: th@townshenda.com		Date	Drawing Size	Drawn By	DPA-08-901		
BALLMORE GROUP				P02 - Minor Amendments						AUG 11	A3	MK			

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This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.

It is the contractors responsibility to ensure full compliance with the Building Regulations.

Do not scale from this drawing, use figured dimensions only.

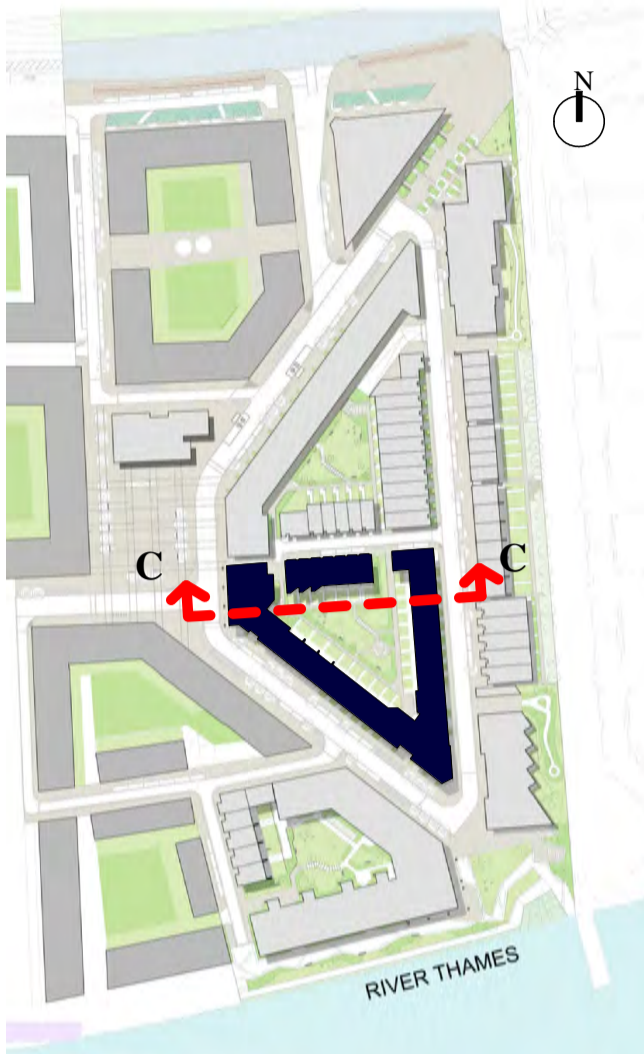
It is the contractors responsibility to check and verify all dimensions on site.

Any discrepancies to be reported immediately.

IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project.

Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



Block Location Plan



SECTION C-C

Rev	Date	Description	By
-----	------	-------------	----



PROJECT
Royal Wharf,
Development Phase 1

TITLE
Plot 08 Section C-C

DRAWING STATUS
PLANNING APPROVAL

DRAWN	NMF	CHECKED	MB
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SCALE 1-250 @ A1 / 1-500 @ A3

DATE 06/05/14

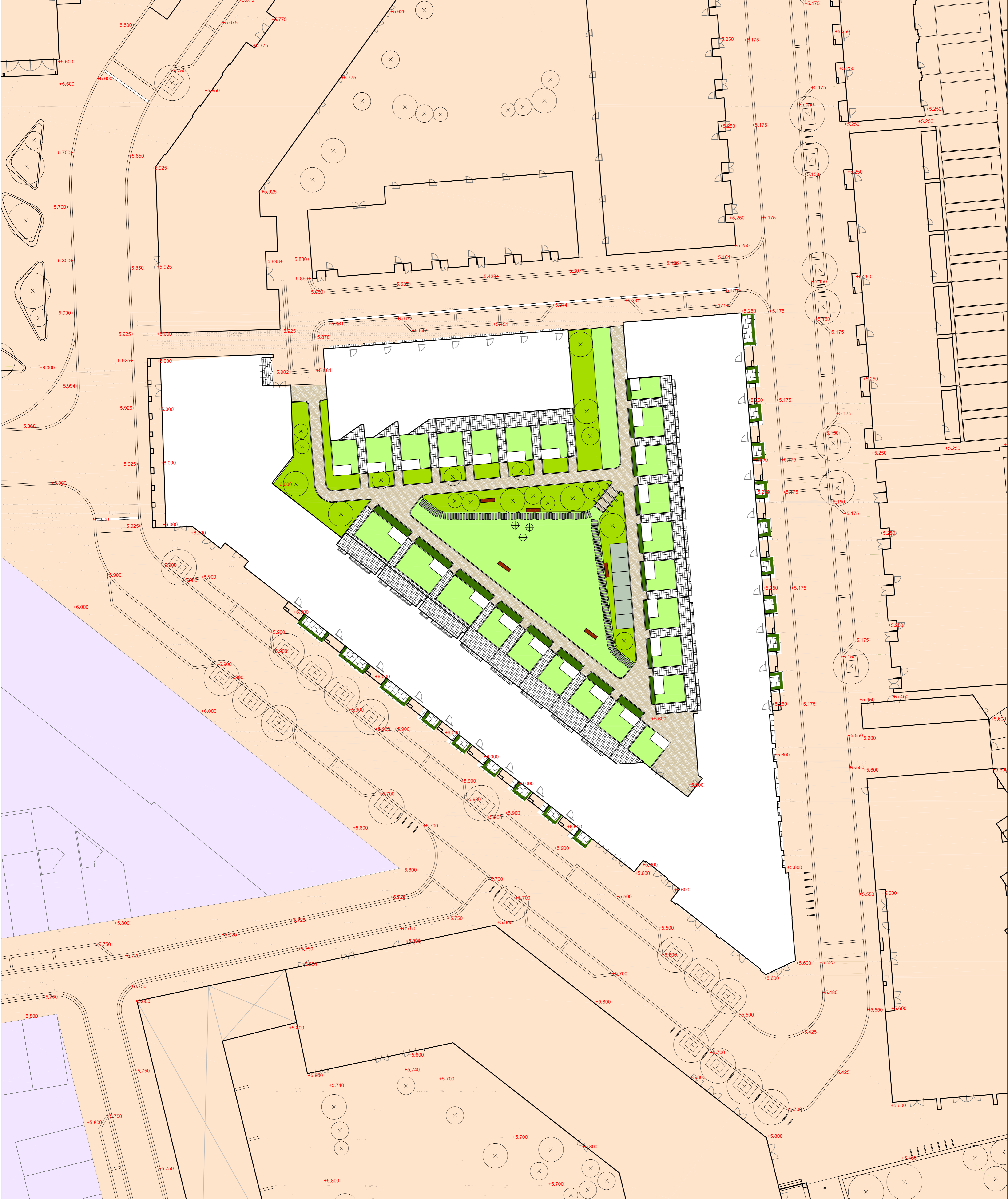
wcecarchitects

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High Holborn, London, WC1V 7PZ

Carnwood Court, Carnwood Road,
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JOB NO.	DRAWING NO.	REV
13-500	DPA-08-301	P2

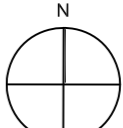
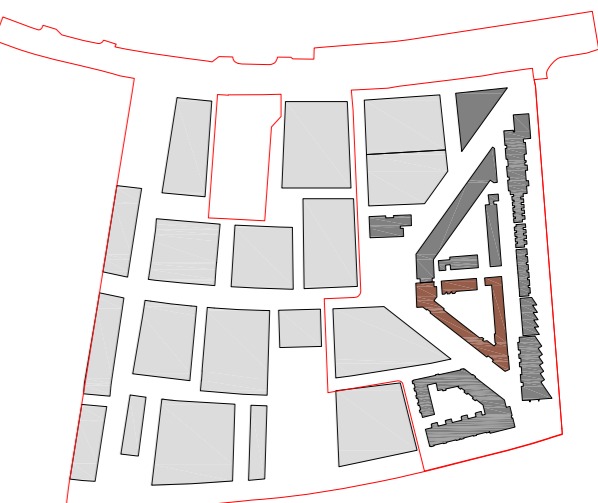


KEY

- PAVING TYPE 4
ANDOVER CONCRETE SETT MIX
- PAVING TYPE 5
ANDOVER CONCRETE PAVING
- PAVING TYPE 6
ANDOVER CONCRETE PAVING
- PAVING TYPE 7
ANDOVER CONCRETE PAVING
- RESIN BOUND GRAVEL
- BLACK TOP CARRIAGEWAY
SURFACE
- CHILDRENS PLAY ELEMENT
- BESPOKE LINEAR TIMBER
BENCH & TABLES
- LAWN
- SHRUB AND HERBACEOUS
PLANTING
- KITCHEN GARDEN
- HEDGE PLANTING
- PROPOSED TREE
PLANTING
- DETAILED AREA
- OUTLINE AREA
- PROPOSED LEVEL
- EXISTING LEVEL

- GENERAL NOTES
1. Do not scale drawing.
 2. All setting out, levels and dimensions to be agreed on site.
 3. The dimensions of all materials must be checked on site before being laid out.
 4. This drawing must be read with the relevant specification clauses and detail drawings.
 5. Order of construction and setting out to be agreed on site.

PLOT LOCATION KEY



Project ROYAL WHARF DEVELOPMENT PHASE 1	Drawing Title PLOT 8 LANDSCAPE FINISHES PLAN	Revision	Date	Client: Ballymore Group Address: Pointe North 3 Greenwich View Place London E14 9NN	Consultant TOWNSHEND Landscape Architects Unit 3A Zetland House London EC2A 4HJ Telephone: 020 7729 9333 Fax: 020 7729 3300 E-Mail: info@townshenda.com	Project No.	Scale	Approved By	Drawing No.	Revision
		P01 - Minor Amendments	150911			465,1	1:250 @ A1 1:500 @ A3	MA		
		P02 - Surface Finishes Amendments	240214			Date	Drawing Size	Drawn By		
		P03 - Minor Amendments	070414			SEP 2011	A1	MIC	DPA-08-900	P03