

This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation. It is the contractors responsibility to ensure full compliance with the **Building Regulations.** 

Do not scale from this drawing, use figured dimensions only.
It is the contractors responsibility to check and verify all dimensions

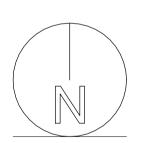
Any discrepancies to be reported immediately. IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



**Block Location Plan** 





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf,

Development Phase 1

Plot 02 Ground Floor Plan

DRAWING STATUS PLANNING APPROVAL

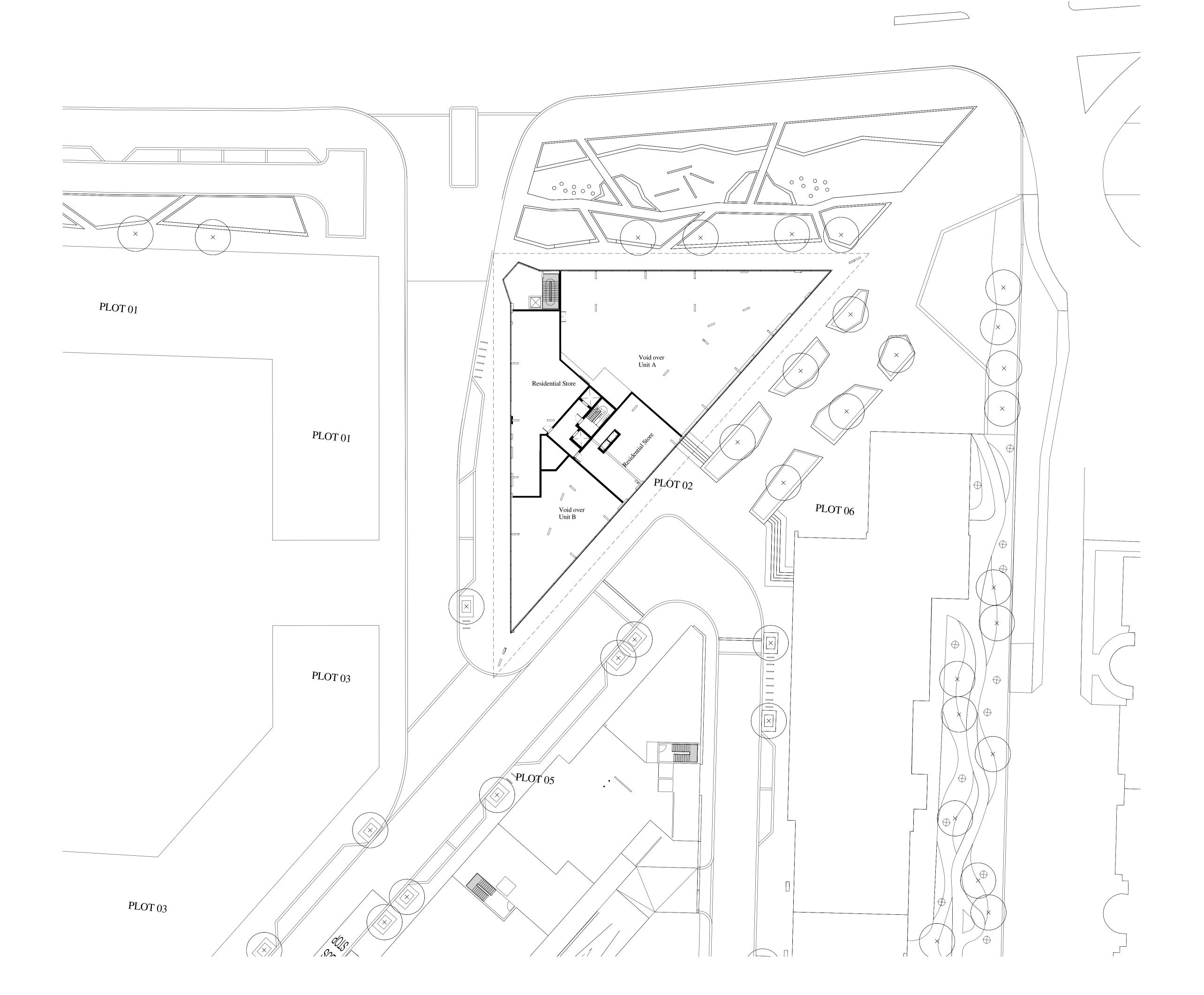
CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3 04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk 13-500 DPA-02-100



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation. It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

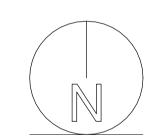
Any discrepancies to be reported immediately. IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



**Block Location Plan** 





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



Royal Wharf, Development Phase 1

Plot 02 First Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN Author CHECKED Checker

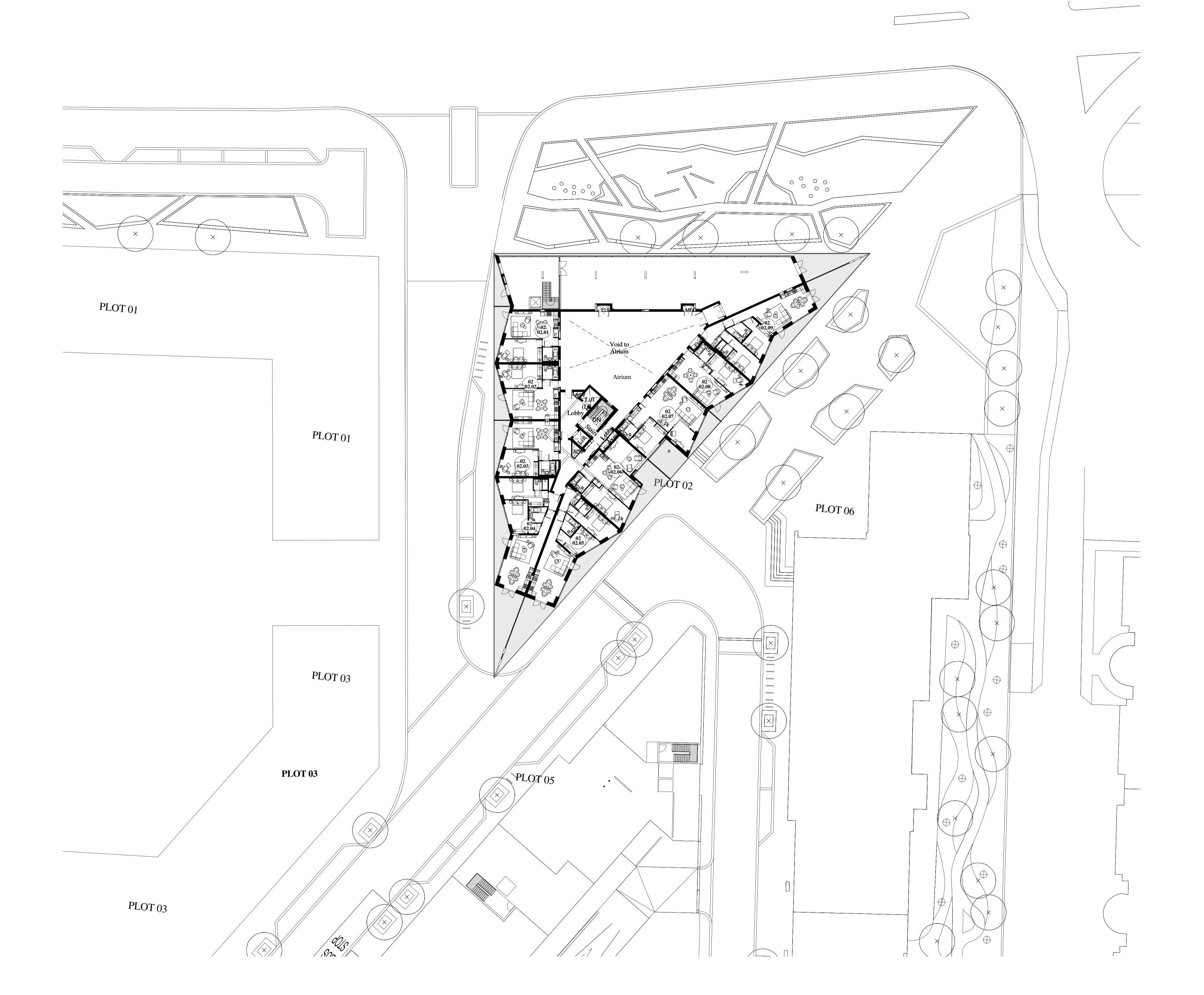
SCALE 1-250 @ A1 / 1-500 @ A3 04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk P2

13-500 DPA-02-101



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

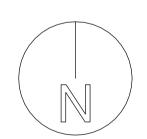
Any discrepancies to be reported immediately. IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



**Block Location Plan** 





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Second Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3 04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

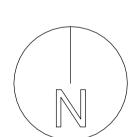
on site.
Any discrepancies to be reported immediately.
IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



## **Block Location Plan**





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Third Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3 04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk

13-500 DPA-02-103



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

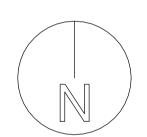
Any discrepancies to be reported immediately. IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



# **Block Location Plan**





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Fourth Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3 04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk 13-500 DPA-02-104



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

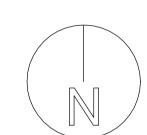
Any discrepancies to be reported immediately. IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



# **Block Location Plan**





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Fifth Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB SCALE 1-250 @ A1 / 1-500 @ A3

04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk JOB NO. DRAWING NO. 13-500 DPA-02-105



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

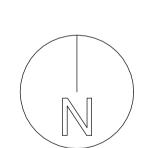
on site.
Any discrepancies to be reported immediately.
IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



# **Block Location Plan**





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Sixth Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3

04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk JOB NO. DRAWING NO. P2 13-500 DPA-02-106



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

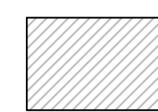
It is the contractors responsibility to check and verify all dimensions

Any discrepancies to be reported immediately. IF IN DOUBT ASK.

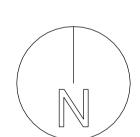
Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



# **Block Location Plan**



Balcony/ external amenity space



P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Seventh Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3 04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

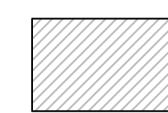
It is the contractors responsibility to check and verify all dimensions

Any discrepancies to be reported immediately. IF IN DOUBT ASK.

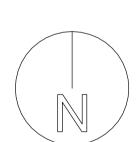
Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



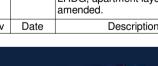
# **Block Location Plan**



Balcony/ external amenity space



P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.





PROJECT Royal Wharf, Development Phase 1

Plot 02 Eighth Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3

04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk 13-500 DPA-02-108



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

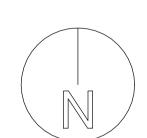
on site.
Any discrepancies to be reported immediately.
IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



# **Block Location Plan**





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Ninth Floor Plan

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3

04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk JOB NO. DRAWING NO. 13-500 DPA-02-109



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.
It is the contractors responsibility to ensure full compliance with the

Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

on site.
Any discrepancies to be reported immediately.
IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



# **Block Location Plan**



Balcony/ external amenity space



P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Tenth Floor Plan

DRAWING STATUS

PLANNING APPROVAL

CHECKED MB

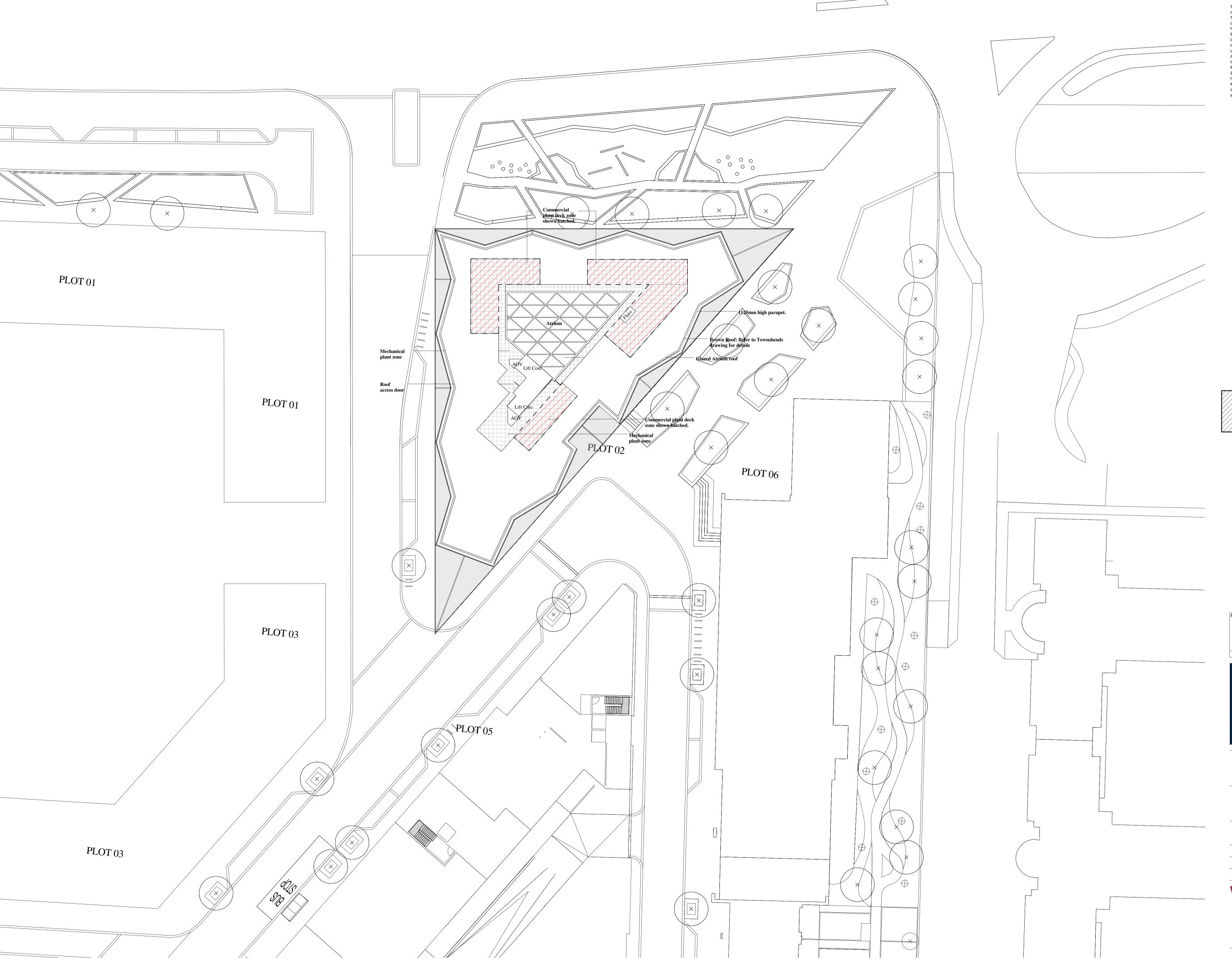
DRAWN MB SCALE 1-250 @ A1 / 1-500 @ A3

04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk 13-500 DPA-02-110



This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related drawings and documentation.

It is the contractors responsibility to ensure full compliance with the Building Regulations.

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

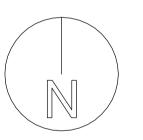
on site.
Any discrepancies to be reported immediately.
IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project



**Block Location Plan** 





P2 14.04.14 Basement area removed and rationalised, retail unit entrance amended, lift and stair core amended and rationalised, cycle and bin storage amended to LHDG, apartment layouts amended.



PROJECT Royal Wharf, Development Phase 1

Plot 02 Roof Plan

DRAWING STATUS PLANNING APPROVAL

CHECKED MB

SCALE 1-250 @ A1 / 1-500 @ A3

04/04/14

4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk JOB NO. DRAWING NO.



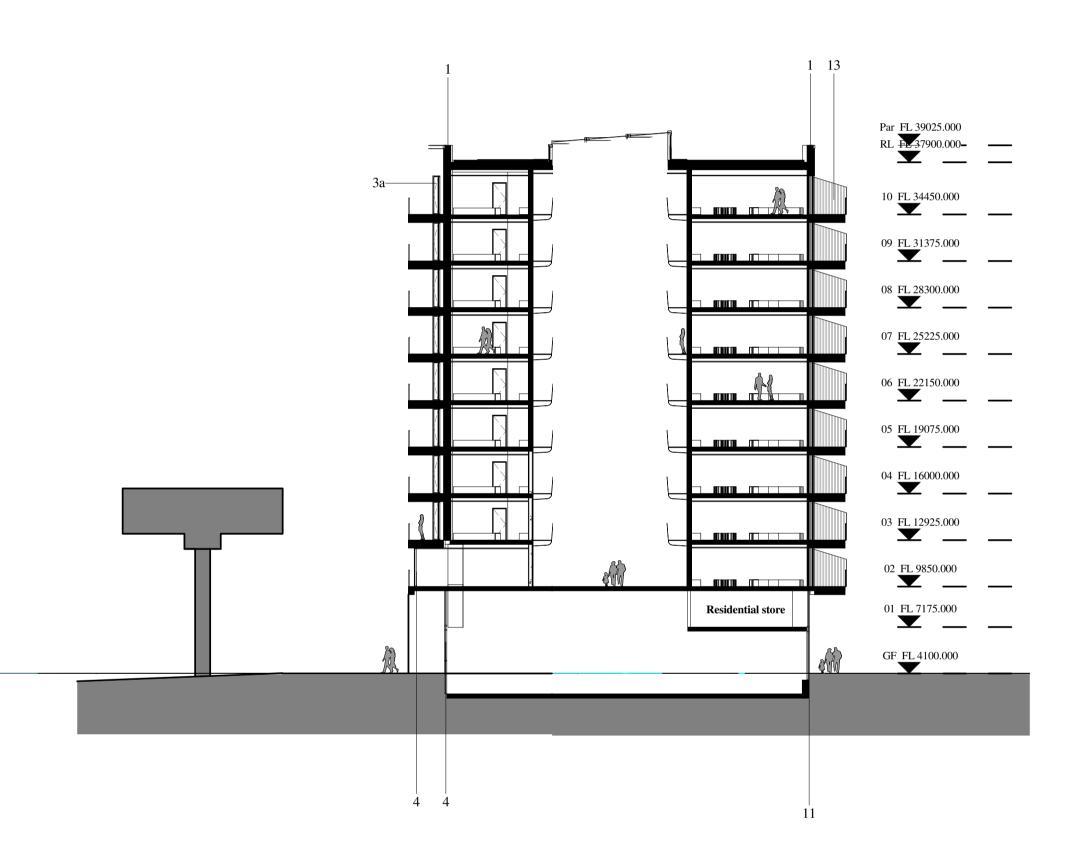
# 1 Facing Brickwork (Type TBC) 2 Concrete Cladding 3a Aluminium Window System (colour/Finish TBC) 3b Aluminium Window System with Louvre (colour/Finish TBC) 4 Aluminium Curtain Wall System (Colour/Finish TBC) 5 Timber Weatherboarding 6 Aluminium Rainscreen Panel 7 Zinc Standing Seam Cladding 8 Aluminium Brese Solei 9 Glazed Balustrade 10 Metal Balustrade

11 Aluminium Panel

12 Aluminium Louvre

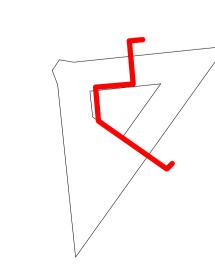
Privacy Screen (Material TBC)

**Material Key** 









**SECTION KEY PLAN** 

# This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects. This drawing must be read in conjunction with all other related

© WCEC ARCHITECTS - DISCLAIMER

drawings and documentation. It is the contractors responsibility to ensure full compliance with the Building Regulations.

Do not scale from this drawing, use figured dimensions only.
It is the contractors responsibility to check and verify all dimensions

Any discrepancies to be reported immediately.
IF IN DOUBT ASK.

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to

health & safety must not be used or specified on this project. Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified and must not be used on this project

Rev Date Description By ROYAL WHARF LONDON PROJECT

Development Phase 1

Royal Wharf,

Plot 02 Section AA

DRAWING STATUS

PLANNING APPROVAL

DRAWN MB CHECKED MB

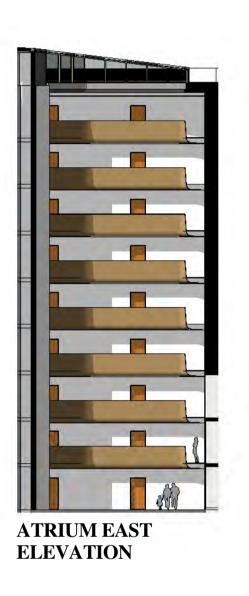
SCALE 1-250 @ A1 / 1-500 @ A3 23/04/14

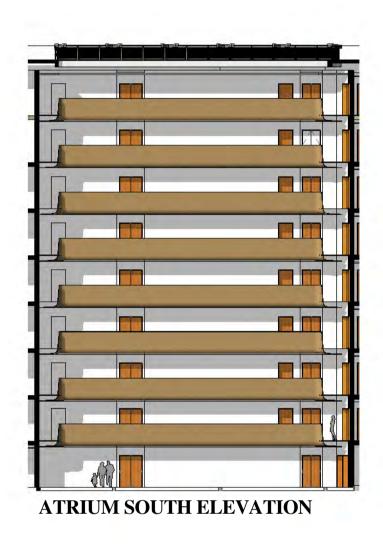
4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk









North Elevation\_Planning Amendments
1:250

**Atrium Internal 01** 

Atrium Internal 02

Atrium Internal 03



**Block Location Plan** 



**Elevation Key Plan** 



SCALE 1-250 @ A1 / 1-500 @ A3

DATE 23/04/14

Rev Date

Description

© WCEC ARCHITECTS - DISCLAIMER

This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related

It is the contractors responsibility to ensure full compliance with the

Do not scale from this drawing, use figured dimensions only.

It is the contractors responsibility to check and verify all dimensions

Materials not in conformity with relevant British or European Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project.

Materials known to contain asbestos contaminated materials (ACM's) in the manufacture or installation process have not been specified

Any discrepancies to be reported immediately.

and must not be used on this project

**Material Key** 

 Facing Brickwork (Type TBC)
 Concrete Cladding

3a Aluminium Window System (colour/Finish TBC)

5 Timber Weatherboarding

3b Aluminium Window System with Louvre (colour/Finish TBC)

Aluminium Curtain Wall System (Colour/Finish TBC)

Aluminium Rainscreen Panel

7 Zinc Standing Seam Cladding

8 Aluminium Brese Solei

**Glazed Balustrade** 

10 Metal Balustrade

11 Aluminium Panel

12 Aluminium Louvre

13 Privacy Screen (Material TBC)

drawings and documentation.

**Building Regulations.** 

IF IN DOUBT ASK.

Wce Carchite

4th Floor, South Building, Staple Inn Buildings,
High Holborn, London, WC1V 7PZ

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

Sheepbridge, Chesterfield, S41 9QB
t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk

 JOB NO.
 DRAWING NO.
 RE'

 13-500
 DPA-02-201
 P2



**Material Key** 

© WCEC ARCHITECTS - DISCLAIMER This drawing is copyright and shall not be reproduced or used for any other purpose without the written permission of the Architects.

This drawing must be read in conjunction with all other related

Do not scale from this drawing, use figured dimensions only. It is the contractors responsibility to check and verify all dimensions

Materials not in conformity with relevant British or European

Standards/Codes of practice or materials known to be deleterious to health & safety must not be used or specified on this project.

Materials known to contain asbestos contaminated materials (ACM's)

in the manufacture or installation process have not been specified

Any discrepancies to be reported immediately.

and must not be used on this project

It is the contractors responsibility to ensure full compliance with the

drawings and documentation.

Building Regulations.

IF IN DOUBT ASK.

1 Facing Brickwork (Type TBC) 2 Concrete Cladding 3a Aluminium Window System (colour/Finish TBC) 3b Aluminium Window System with Louvre (colour/Finish TBC)

Aluminium Curtain Wall System (Colour/Finish TBC) Timber Weatherboarding

**Aluminium Rainscreen Panel** 

Zinc Standing Seam Cladding 8 Aluminium Brese Solei

Glazed Balustrade

10 Metal Balustrade

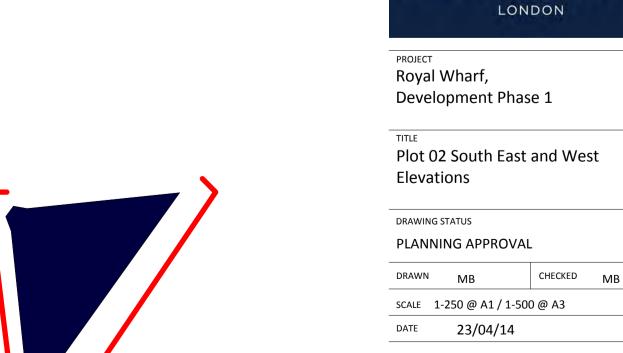
11 Aluminium Panel





WEST ELEVATION





4th Floor, South Building, Staple Inn Buildings, High Holborn, London, WC1V 7PZ

Rev Date Description By

ROYAL WHARF

Carrwood Court, Carrwood Road, Sheepbridge, Chesterfield, S41 9QB

t: 020 3388 0019, e: email@wcec.co.uk, www.wcec.co.uk